
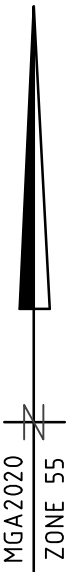
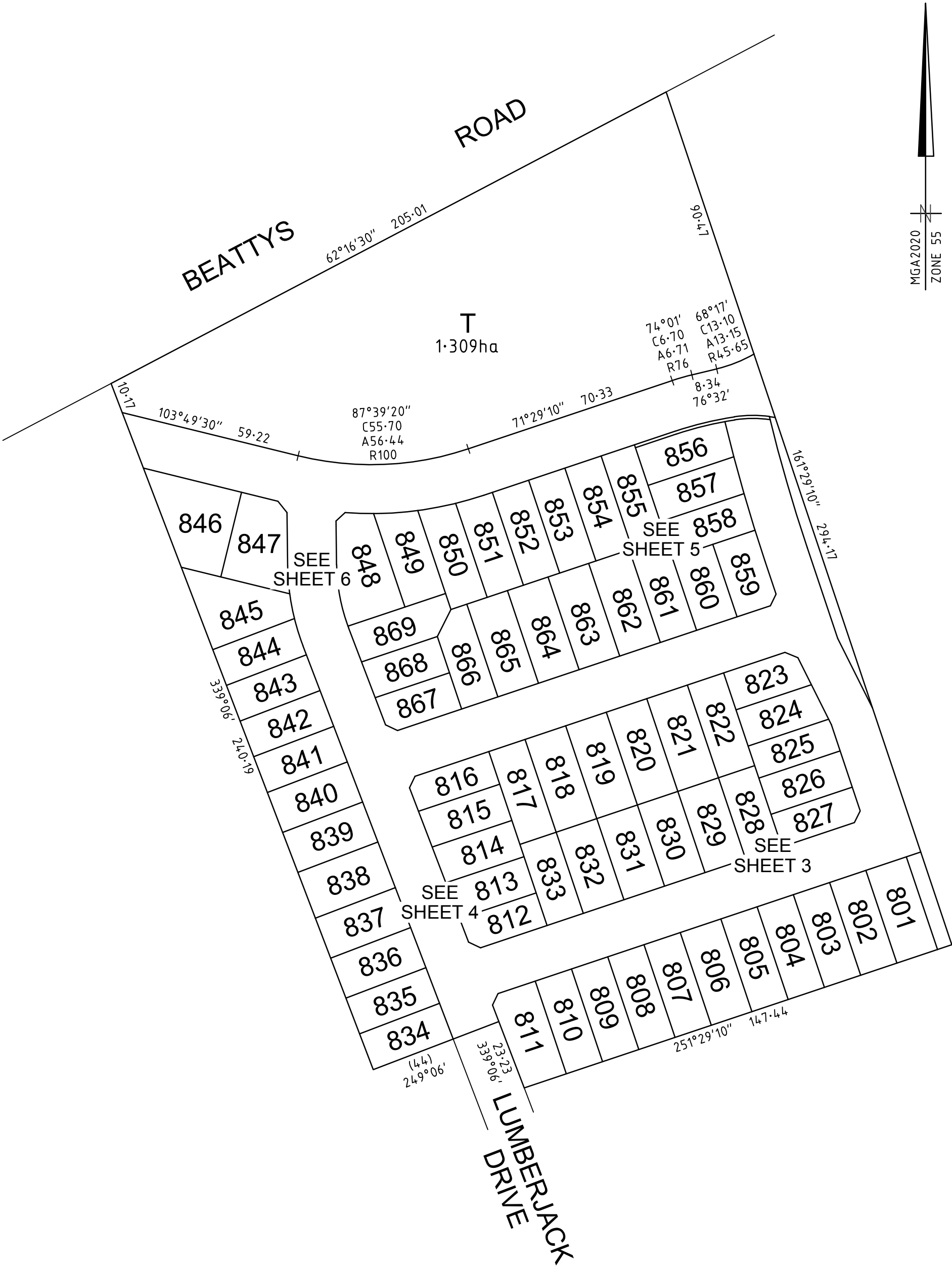


PLAN OF SUBDIVISION			LUV USE ONLY EDITION	PLAN NUMBER PS909260G	
LOCATION OF LAND  PARISH: MARIBYRNONG  TOWNSHIP: -  SECTION: B  CROWN ALLOTMENT: 4 (PART)  CROWN PORTION: -  TITLE REFERENCES: Vol. Fol.  LAST PLAN REFERENCE/S: PS905185Q (LOT Q)  POSTAL ADDRESS: 451 - 471 BEATTYS ROAD (At time of subdivision) FRASER RISE, 3336  MGA2020 Co-ordinates (of approx centre of land in plan) E 297 190 N 5 824 380 ZONE 55			Council Name: Melton City Council  Council Reference Number: Sub6367 Planning Permit Reference: PA2018/6004/2 SPEAR Reference Number: S196559V  Certification  This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 11/11/2022  Public Open Space  A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has not been made  Digitally signed by: Julie Stafford for Melton City Council on 04/04/2024		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS		
IDENTIFIER		COUNCIL/BODY/PERSON		LOTS 1 TO 800 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.  LOTS ON THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. SEE SHEET 7 FOR FURTHER DETAILS.  RESERVE No.1 IS NOT SHOWN TO SCALE ON THIS PLAN.  OTHER PURPOSE OF THE PLAN: REMOVAL OF THAT PART OF DRAINAGE & SEWERAGE EASEMENT E-3 ON PS905185Q AS AFFECTS LUMBERJACK DRIVE ON THIS PLAN.  GROUNDS FOR REMOVAL: BY AGREEMENT OF ALL INTERESTED PARTIES UPON REGISTRATION OF THIS PLAN PURSUANT TO SECTION 6(1)(k)(iv) OF THE SUBDIVISION ACT 1988.	
ROAD R1		MELTON CITY COUNCIL			
ROAD R2		MELTON CITY COUNCIL			
RESERVE No.1		MELTON CITY COUNCIL			
RESERVE No.2		MELTON CITY COUNCIL			
NOTATIONS					
DEPTH LIMITATION: 15.24m BELOW THE SURFACE APPLIES TO ALL THE LAND IN THIS PLAN STAGING: THIS IS NOT A STAGED SUBDIVISION. PLANNING PERMIT No. PA2018/6004  SURVEY: THIS PLAN IS BASED ON SURVEY.  THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s): PM31 & PM53 (KOROROIT) AND PM134 (MARIBYRNONG) PROCLAIMED SURVEY AREA:  <b>BOTANIA 8</b> <b>4.072ha</b>  <b>69 LOTS</b>					
EASEMENT INFORMATION					
LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1	DRAINAGE SEWERAGE	SEE PLAN SEE PLAN	PS905185Q PS905185Q	MELTON CITY COUNCIL GREATER WESTERN WATER CORPORATION	
E-2	DRAINAGE	SEE PLAN	PS905185Q	MELTON CITY COUNCIL	
E-3	DRAINAGE	SEE PLAN	THIS PLAN	MELTON CITY COUNCIL	
E-4	SEWERAGE	SEE PLAN	THIS PLAN	GREATER WESTERN WATER CORPORATION	
E-5	DRAINAGE SEWERAGE	SEE PLAN SEE PLAN	THIS PLAN THIS PLAN	MELTON CITY COUNCIL GREATER WESTERN WATER CORPORATION	
<div>3070S-08 VER G.DWG SB/SB</div> <div><div>Member of the <b>Surbana Jurong Group</b> Melbourne Survey T 9869 0813</div></div>			SURVEYOR REF: 3070s-08		ORIGINAL SHEET SIZE: A3
			Digitally signed by: Duncan Brooks, Licensed Surveyor, Surveyor's Plan Version (G), 28/03/2024, SPEAR Ref: S196559V		SHEET 1 OF 7

WARNING - This document is a working document in the SPEAR approval process. It is subject to revision and change and therefore should not be relied on. If you have any questions about this document please contact the person from SMEC who gave you access to SPEAR / this document. SPEAR Ref: S196559V 26/09/2024 11:55 am

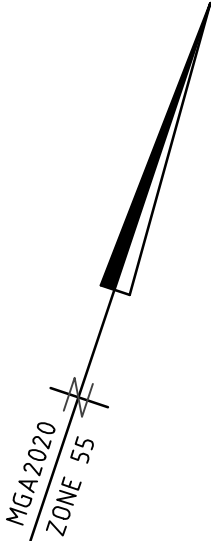
PLAN OF SUBDIVISION

PLAN NUMBER  
**PS909260G**

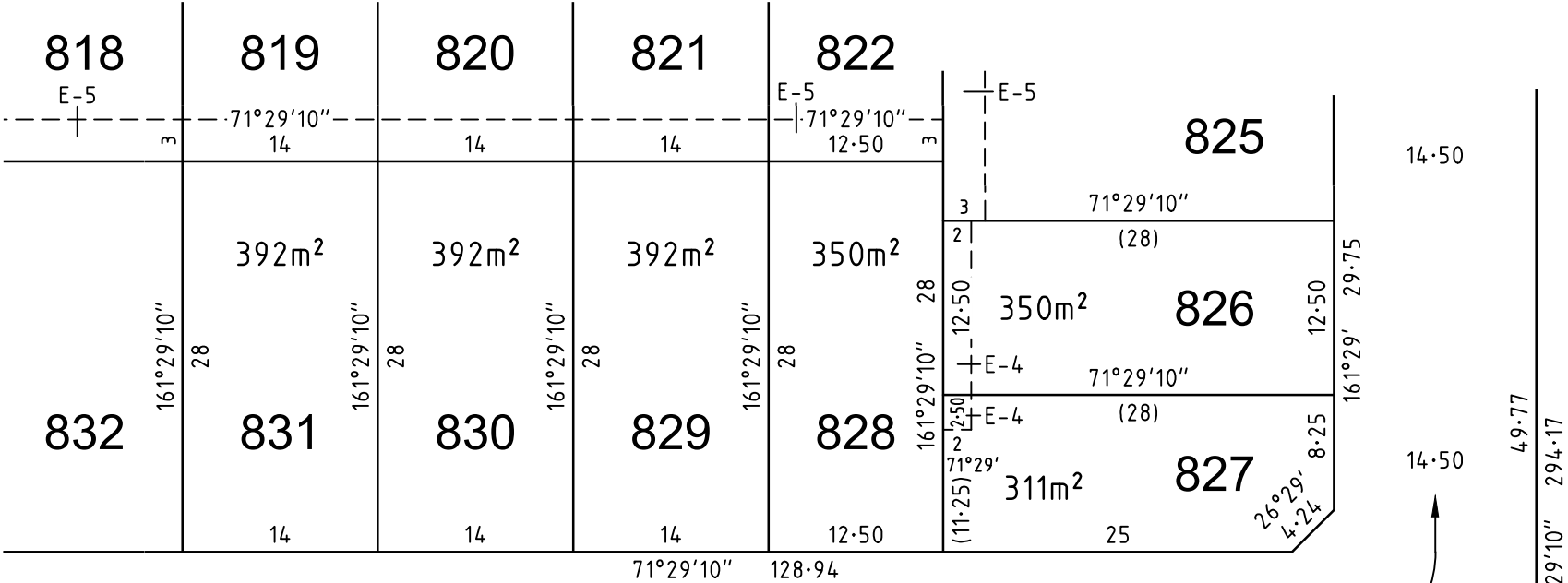


PLAN OF SUBDIVISION

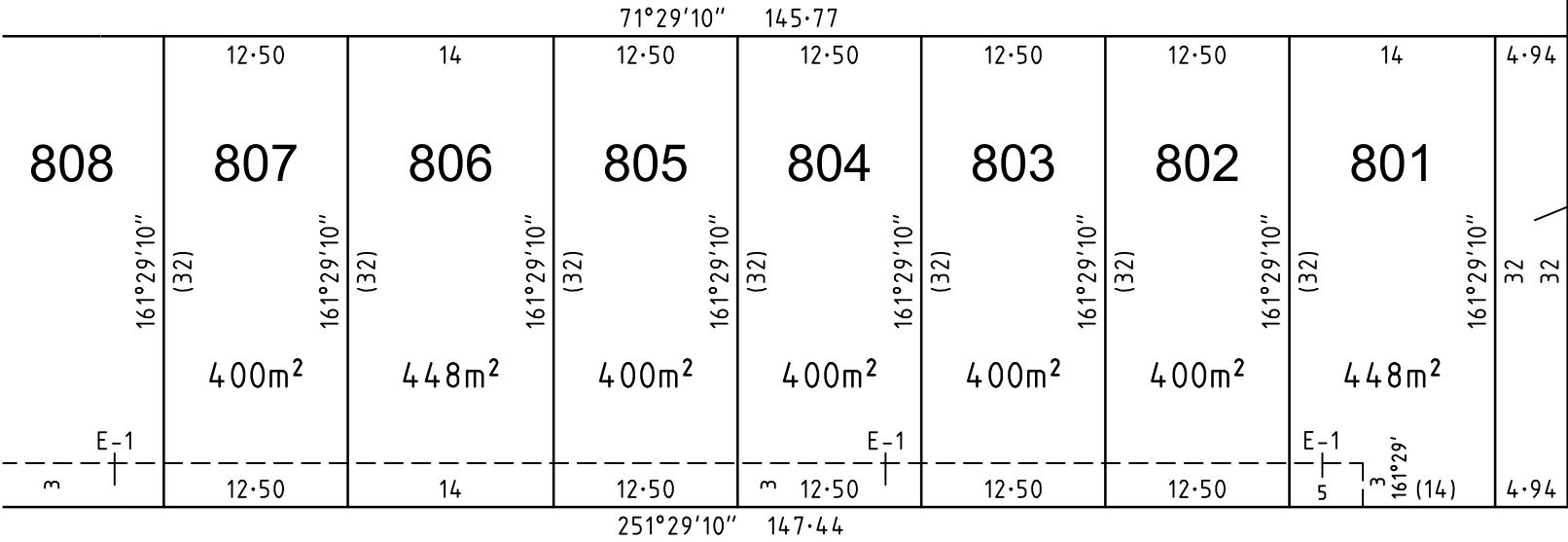
PLAN NUMBER  
PS909260G



SEE SHEET 5



CINNAMON R1 CIRCUIT



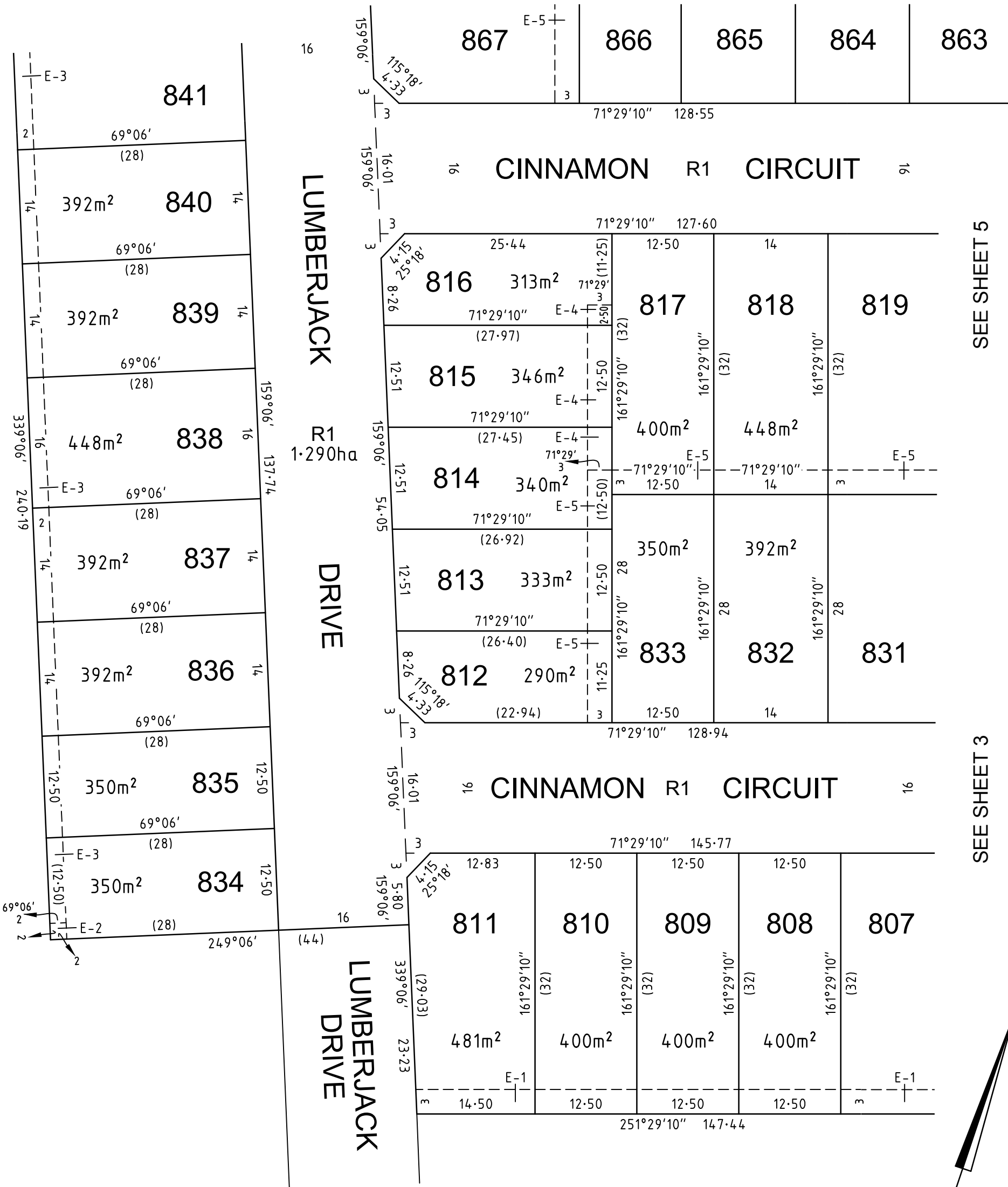
RESERVE  
No.2  
158m²

SEE SHEET 4

PLAN OF SUBDIVISION

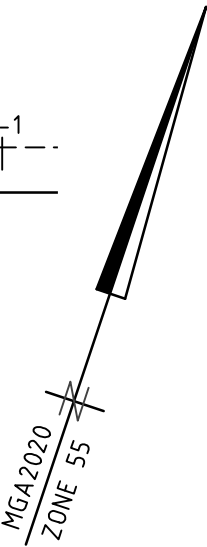
PLAN NUMBER  
PS909260G

SEE SHEET 6



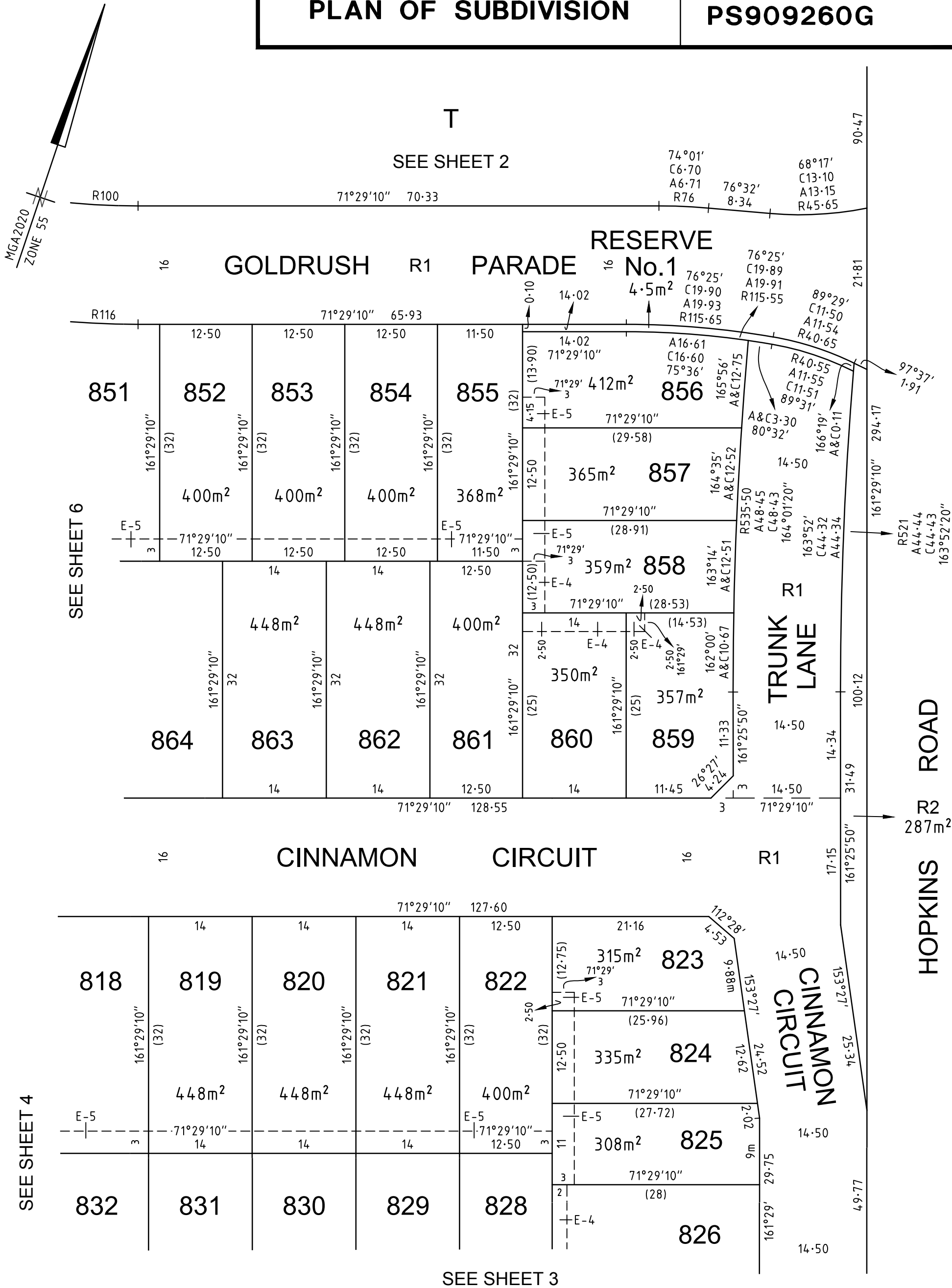
SEE SHEET 5

SEE SHEET 3



PLAN OF SUBDIVISION

PLAN NUMBER  
PS909260G



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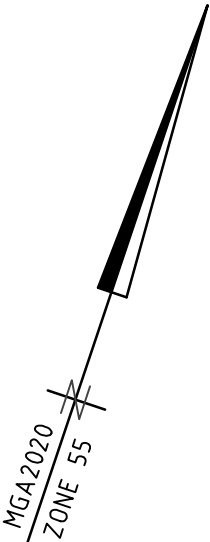


PLAN OF SUBDIVISION

PLAN NUMBER  
PS909260G

BEATTYS  
ROAD

T  
SEE SHEET 2



GOLDRUSH

PARADE

LUMBERJACK  
R1  
DRIVE

CINNAMON R1 CIRCUIT

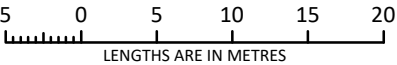
SEE SHEET 5

SEE SHEET 4



**SMEC**  
Member of the Surbana Jurong Group  
REF 3070s-08

SCALE  
1:500



LENGTHS ARE IN METRES

Digitally signed by: Duncan Brooks, Licensed Surveyor,  
Surveyor's Plan Version (G),  
28/03/2024, SPEAR Ref: S196559V

ORIGINAL SHEET  
SIZE: A3

SHEET 6

Digitally signed by:  
Melton City Council,  
04/04/2024,  
SPEAR Ref: S196559V

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PLAN OF SUBDIVISION

PLAN NUMBER  
PS909260G

The following Restrictions are to be created upon registration of Plan of Subdivision PS909260G by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

CREATION OF RESTRICTION A

Table of Land Burdened and Land Benefitted:

BURDENED LOT No.	BENEFITING LOTS	BURDENED LOT No.	BENEFITING LOTS	BURDENED LOT No.	BENEFITING LOTS
801	802	824	822, 823, 825	847	845, 846
802	801, 803	825	822, 824, 826, 828	848	849, 869
803	802, 804	826	825, 827, 828	849	848, 850, 869
804	803, 805	827	826, 828	850	849, 851, 865, 866, 869
805	804, 806	828	822, 825, 826, 827, 829	851	850, 852, 864, 865
806	805, 807	829	821, 828, 830	852	851, 853, 863, 864
807	806, 808	830	820, 829, 831	853	852, 854, 862, 863
808	807, 809	831	819, 830, 832	854	853, 855, 861, 862
809	808, 810	832	818, 831, 833	855	854, 856, 857, 858, 861
810	809, 811	833	812, 813, 814, 817, 832	856	855, 857
811	810	834	835	857	855, 856, 858
812	813, 833	835	834, 836	858	855, 857, 859, 860, 861
813	812, 814, 833	836	835, 837	859	858, 860
814	813, 815, 817, 833	837	836, 838	860	858, 859, 861
815	814, 816, 817	838	837, 839	861	854, 855, 858, 860, 862
816	815, 817	839	838, 840	862	853, 854, 861, 863
817	814, 815, 816, 818, 833	840	839, 841	863	853, 862, 864, 852
818	817, 819, 832	841	840, 842	864	851, 852, 863, 865
819	818, 820, 831	842	841, 843	865	850, 851, 864, 866
820	819, 821, 830	843	842, 844	866	850, 865, 867, 868, 869
821	820, 822, 829	844	843, 845	867	866, 868
822	821, 823, 824, 825, 828	845	844, 846, 847	868	866, 867, 869
823	822, 824	846	845, 847	869	848, 849, 850, 866, 868

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not:

1. Construct or allow to be constructed any improvement other than an improvement that shall be constructed in accordance with the Design Guidelines endorsed by Melton City Council under Town Planning Permit No: PA2018/6004 as amended from time to time.

A copy of the Design Guidelines is available at [www.ngdd.com.au](http://www.ngdd.com.au)

2. Construct or allow to be constructed any improvement prior to the Botania Design Assessment Panel or such other entity as may be nominated by the Botania Design Assessment Panel from time to time has given its written approval to the plans prior to the commencement of works.

The Restriction ceases to have effect following the either:

i. The issue of a certificate of occupancy for the whole of the dwelling on the lot.

ii. 1<sup>st</sup> June 2032.

CREATION OF RESTRICTION B

Land Burdened: Lots 811, 812, 816, 823, 827, 847, 848, 859 and 867

Land Benefited: Lots 811, 812, 816, 823, 827, 847, 848, 859 and 867

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision shall not:

1. Construct a corner fence that is not in accordance with the Design Guidelines

i. Allow any such corner fence to fall into a state of neglect or disrepair at any time (excluding fair wear and tear).

2. Cause, allow or permit any other person to:

i. Erect any building, structure or erection on, under, over or through the corner lot fencing.

ii. Remove or alter any part of the corner lot fence

iii. Obstruct or place any covering or obstruction over the corner lot fencing.

The Restriction ceases to have effect on the 1<sup>st</sup> June 2032.

CREATION OF RESTRICTION C

Land Burdened: Lots 812

Land Benefited: Lots 813 and 833

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision must not build or permit to be built or remain on the lot any building other than a building which has been built in accordance with the Small Lot Housing Code incorporated into the Melton City Council Planning Scheme, unless a planning permit is granted by the responsible authority for a building that does not conform with the Small Lot Housing Code.

i. For Lot 812 is a Small Lot Housing Code Type A lot.

The restriction shall cease to apply to any building on the lot after the issue of a certificate of occupancy for the whole of a dwelling on that lot.